



Store Front



Store Decor



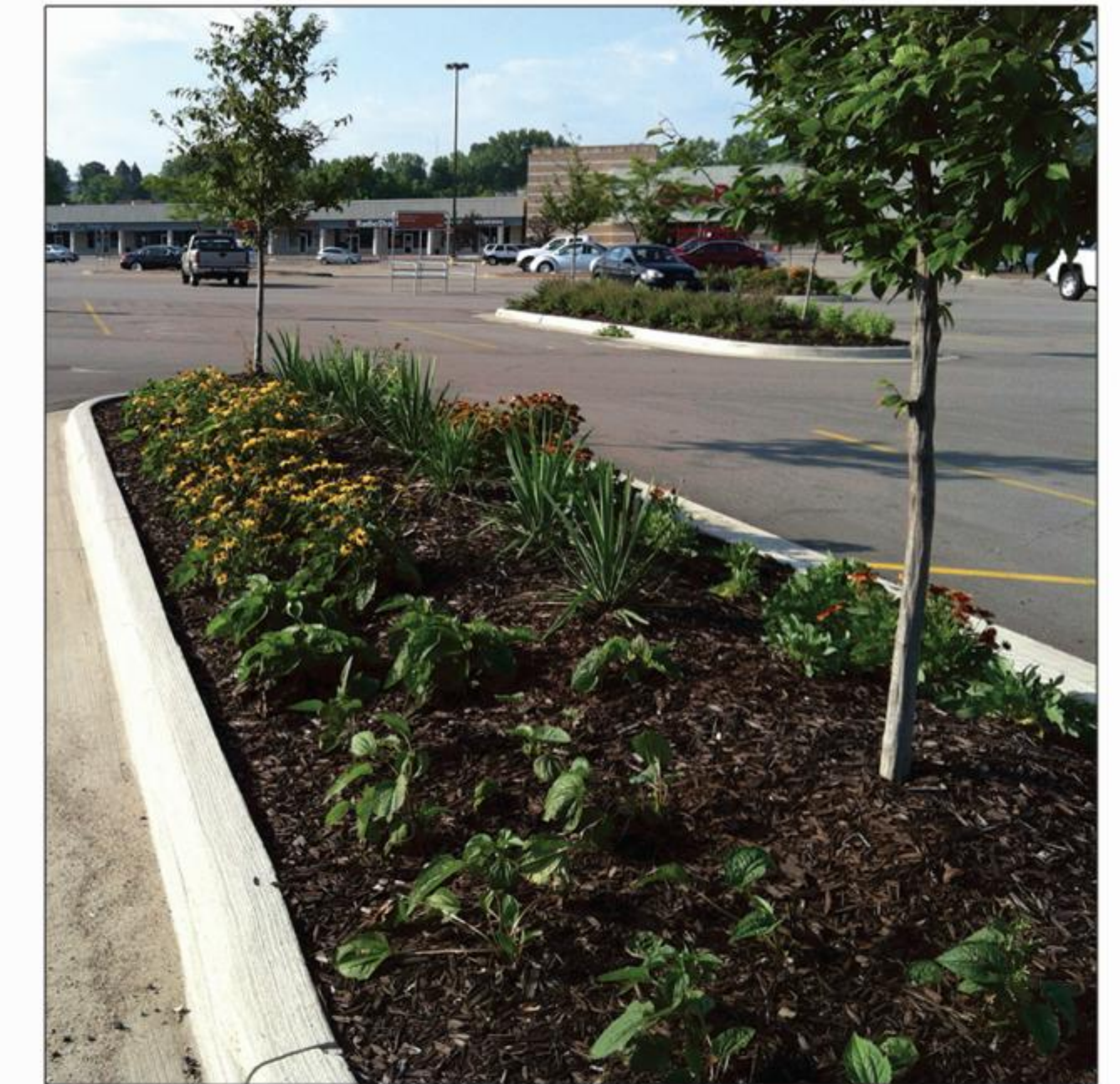
Store Decor



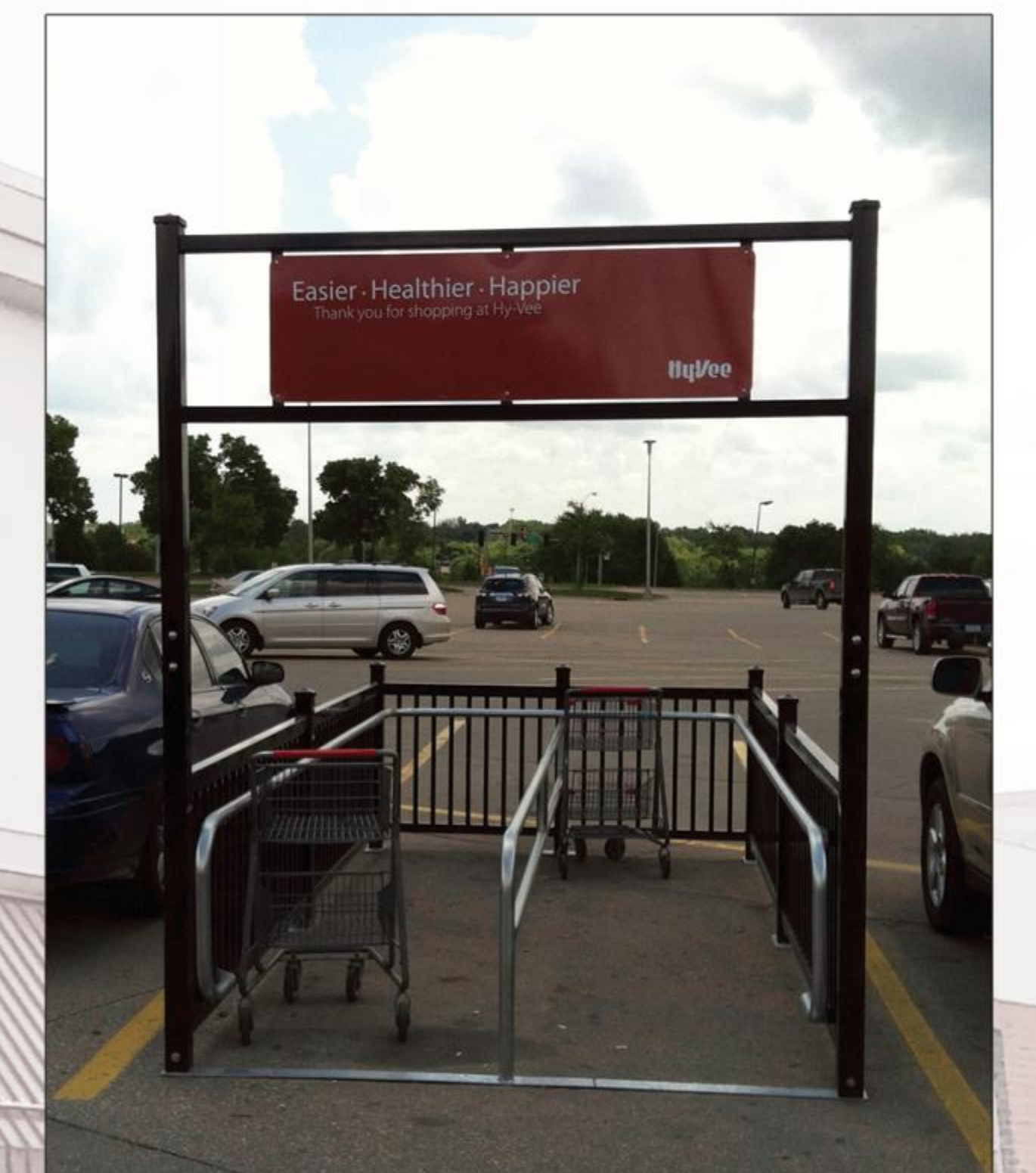
Store Decor



Wind Turbine and Car Charger



Low Impact Parking Islands



New Cart Corrals

Columbia Heights Hy-Vee Building & Site Elements

SITE SUBMITTAL APPLICATION FOR

COLUMBIA HEIGHTS HY-VEE

4300 CENTRAL AVENUE NORTHEAST COLUMBIA HEIGHTS, MINNESOTA 55421

CIVIL ENGINEER
WESTWOOD PROFESSIONAL SERVICES, INC. 7699 ANAGRAM DRIVE EDEN PRAIRIE, MINNESOTA (952) 937-5150
GEOTECHNICAL ENGINEER
BRAUN INTERTEC 1826 BUERKLE ROAD ST. PAUL, MINNESOTA (651) 487-7026
LANDSCAPE ARCHITECT
WESTWOOD PROFESSIONAL SERVICES, INC. 7699 ANAGRAM DRIVE EDEN PRAIRIE, MINNESOTA (952) 937-5150
LAND SURVEYOR
WESTWOOD PROFESSIONAL SERVICES, INC. 7699 ANAGRAM DRIVE EDEN PRAIRIE, MINNESOTA (952) 937-5150

REGULATORY AGENCIES
COMMUNITY DEVELOPMENT DIRECTOR: Joe Hogeboom (763)706-3670
ASST. CITY ENGINEER: Kathy Young (763)706-3704
PUBLIC WORKS DIRECTOR: Kevin Hansen (763)706-3705
FIRE CHIEF: Gary Gorman (763)706-8152
POLICE CHIEF: Scott Nadeau (763)706-8100

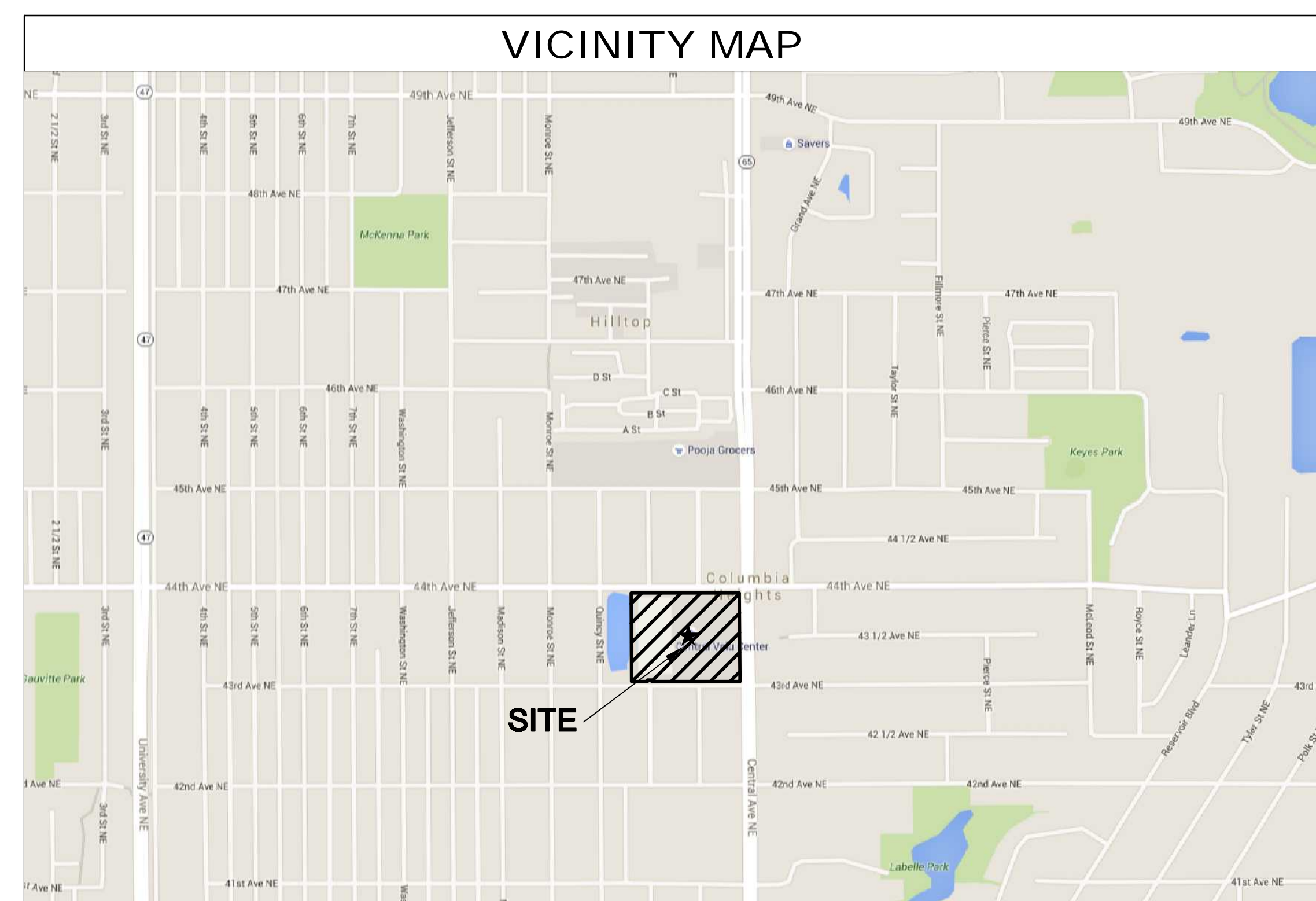


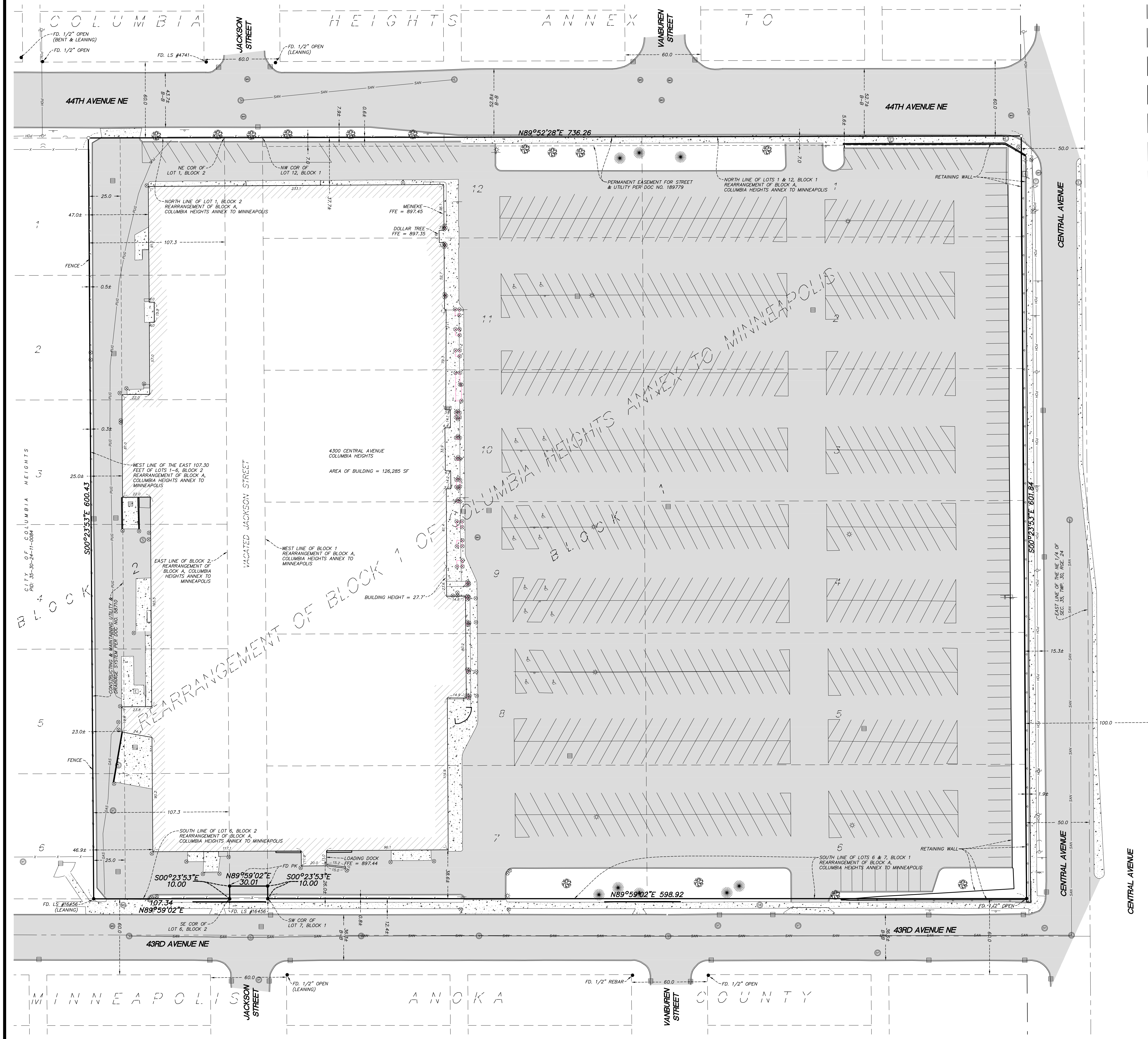
OWNER / DEVELOPER
HY-VEE, INC. 5820 WESTOWN PARKWAY WEST DES MOINES, IOWA (515) 267-2800

UTILITY CONTACTS
MINNESOTA ONE CALL: 811 OR CALL 811.COM
GAS: COMPANY NAME Contact Name (XXX) XXX-XXXX
ELECTRIC: COMPANY NAME Contact Name (XXX) XXX-XXXX
TELEPHONE: COMPANY NAME Contact Name (XXX) XXX-XXXX
CABLE: COMPANY NAME Contact Name (XXX) XXX-XXXX
WATER: COMPANY NAME Contact Name (XXX) XXX-XXXX

INDEX OF SHEETS
C0.0 COVER SHEET
C1.0 ALTA/NSPS LAND TITLE SURVEY
C2.0 PROJECT IMPROVEMENT PLAN
C3.0 CIVIL SITE PLAN
C4.0 GRADING, DRAINAGE, EROSION CONTROL, & UTILITY PLAN
C5.0 LANDSCAPE PLAN

SITE SUBMITTAL APPLICATION 08/01/16





LEGAL DESCRIPTION

Lots One (1), Two (2), Three (3), Four (4), Five (5), Six (6), Seven (7), Eight (8), Nine (9), Ten (10), Eleven (11), and Twelve (12), Block One (1), and the East 107.3 feet of Lots One (1), Two (2), Three (3), Four (4), Five (5), and Six (6), Block Two (2).

All in Rearrangement of Block "A", Columbia Heights Annex to Minneapolis, according to the recorded plat thereof on file in the office of the Register of Deeds in and for Anoka County, Minnesota, together with that part of vacated Jackson Street on said plat described as follows: Commencing at a point 10 feet North of the Southeast corner of said Lot 6, Block 2; thence North a distance of 590 feet, more or less, to the Northeast corner of said Lot 1, Block 2; thence East a distance of 30 feet, more or less, to the Northwest corner of said Lot 12, Block 1; thence South a distance of 590 feet, more or less to a point 10 feet North of the Southwest corner of said Lot 7, Block 1; thence West a distance of 30 feet, more or less, to the point of beginning and there terminating.

Torrens Property
Certificate of Title No. 126054

GENERAL NOTES

This survey was prepared using Fidelity National Title Insurance Company, Title Commitment Number 238439 having an effective date of April 17, 2016.

Subject property appears to be classified as Zone X when scaled from Flood Insurance Rate Map Community - Panel Numbers 27003C0392E & 27003C041E dated December 16, 2015, (Table A Item 3)

Subject property contains 442,287 Sq.Ft. or 10.154 acres. (Table A Item 4)

No zoning information was provided by the title company (Table A Item 6 (a))

Subject property contains 594 total parking stalls, including 15 handicapped stalls. (Table A Item 9)

The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise of such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. (State One Call Ticket No. 161313536). (Table A Item 11)

Evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork. (Table A Item 16)

Bearings based on 1983NAD (2007ADJ) Anoka County Coordinate system in US Survey feet & 1988NAVD in US Survey Feet.

The following notes correspond to the numbering system of Schedule B of the above mentioned title commitment.

12.) An easement for the purpose of constructing and maintaining utility and drainage systems over, under, in, upon, and across the following described property: The West 25 feet of the East 107.3 feet of Lots 1, 2, 3, 4, 5, and 6, Block 2, Re-arrangement of Block "A", Columbia Heights Annex to Minneapolis, Anoka County, Minnesota also an easement to enter upon the above described premises for the purpose of maintaining the fence located on the West line of said premises, as evidenced in document dated July 7, 1967 and recorded August 16, 1967, as Torrens Document No. 58710. AFFECTS SUBJECT PROPERTY; AS SHOWN ON SURVEY

13.) An Agreement between Kraus-Anderson, Inc. and the City of Columbia Heights, as evidenced in document dated December 29, 1983 and recorded January 17, 1984, as Torrens Document No. 131465; Addendum to Agreement dated July 20, 1984 and recorded January 25, 1985, as Torrens Document No. 139488; Addendum to Agreement dated August 17, 1987 and recorded October 8, 1987, as Torrens Document No. 168520. AFFECTS SUBJECT PROPERTY; NOT SPECIFICALLY SHOWN ON SURVEY

14. Easement to City of Columbia Heights for street and utility purposes over, under and across the North 7 feet of Lots 1 and 12, Block 1 as evidenced in document dated September 29, 1989, recorded October 2, 1989, as Torrens Document No. 189779.

Terms of above easement modified by Agreement by and between Kraus-Anderson, Incorporated and the City of Columbia Heights dated May 23, 1990, recorded May 31, 1990, as Document No. 190335. AFFECTS SUBJECT PROPERTY; AS SHOWN ON SURVEY. TEMPORARY EASEMENT IS NOT SHOWN AS IT EXPIRED ON SEPTEMBER 29, 1991

15. Terms and conditions of unrecorded leases between Kraus-Anderson, Incorporated, landlord, and Walgreen Co. tenant as shown by Memorandum of Lease dated April 5, 1985, recorded June 19, 1985, as Document No. 142698. AFFECTS SUBJECT PROPERTY; NOT SPECIFICALLY SHOWN ON SURVEY

16. Terms and conditions of Lease, dated September 28, 1983, as amended January 24, 1984, recorded January 14, 1985, between Kraus-Anderson Incorporated, lessor, and Popolous Food Markets, Inc., lessee, as shown by Memorandum of Lease dated January 14, 1985, recorded July 22, 1985, as Torrens Document No. 143436. AFFECTS SUBJECT PROPERTY; NOT SPECIFICALLY SHOWN ON SURVEY

CERTIFICATION

To Hy-Vee, Inc., an Iowa corporation, BRE Non-Core 2 Owner B LLC, a Delaware limited liability company and Fidelity National Title Insurance Company.

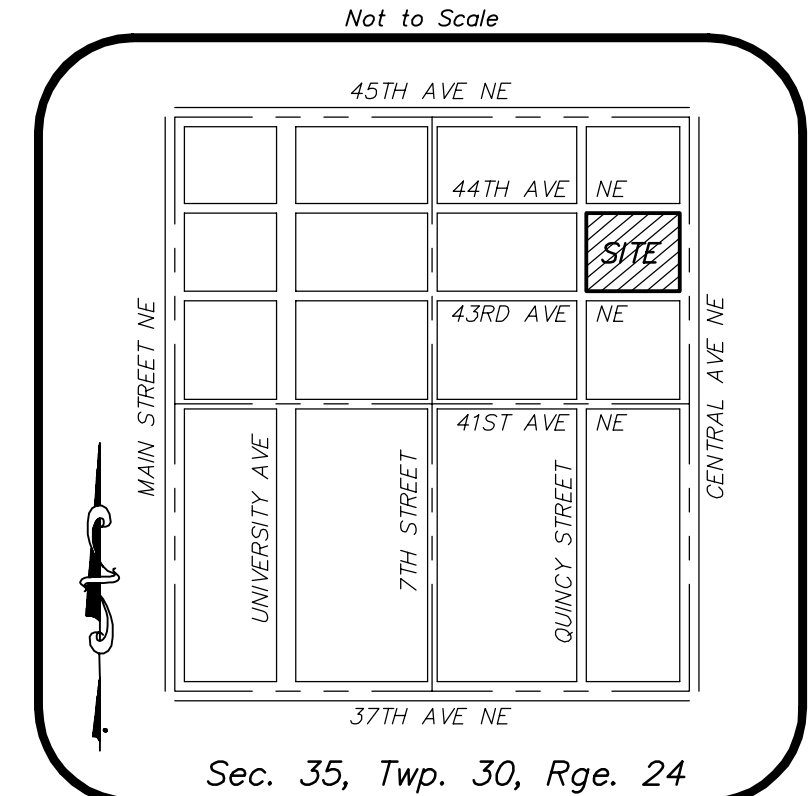
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-5, 8(a), 7(a)(b)(c), 8, 9, 10(a), 11 and 16 of Table A thereof. The field work was completed on May 16, 2016.

[Signature] 6/01/2016
Date
Craig W. Morse
Minnesota License No. 23021

LEGEND

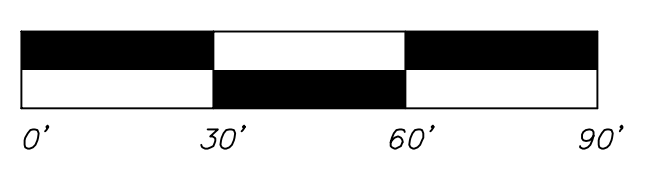
- | | |
|------------------------|--------------------------|
| ⊕ SANITARY MANHOLE | ☐ TELEPHONE BOX |
| ⊙ SEWER CLEANOUT | ⊙ TELEPHONE MANHOLE |
| ⊕ STORM MANHOLE | ☐ CABLE TV BOX |
| ⊕ CATCH BASIN | ☐ TRAFFIC CONTROL BOX |
| ⊕ BEEHIVE CATCH BASIN | ⊕ HAND HOLE |
| ⊕ FLARED END SECTION | ⊕ TRAFFIC LIGHT |
| ⊕ POWER POLE | ⊕ STREET LITE |
| ⊕ GUY WIRE | ⊕ BUSH/SHRUB |
| ⊕ ELECTRIC BOX | ⊕ CONIFEROUS TREE |
| ⊕ ELECTRIC METER | ⊕ DECIDUOUS TREE |
| ⊕ ELECTRIC MANHOLE | ⊕ WETLAND |
| ⊕ ELECTRIC TOWER | ⊕ TREE LINE |
| ⊕ GATE VALVE | ⊕ CABLE TV |
| ⊕ HYDRANT | ⊕ GAS LINE |
| ⊕ WATER METER | ⊕ POWER OVERHEAD |
| ⊕ CURB STOP BOX | ⊕ CURB POWER UNDERGROUND |
| ⊕ WATER MANHOLE | ⊕ SANITARY SEWER |
| ⊕ WELL | ⊕ STORM SEWER |
| ⊕ GAS METER | ⊕ TELEPHONE OVERHEAD |
| ⊕ STEEL/WOOD POST | ⊕ TELEPHONE UNDERGROUND |
| ⊕ SIGN-TRAFFIC/OTHER | ⊕ WATERMAIN |
| ⊕ SIGN-TRAFFIC/OTHER | ⊕ FIBER OPTIC |
| ⊕ MAIL BOX | ⊕ FENCE LINE |
| ⊕ HANDICAPPED STALL | ⊕ CURB & CUTTER |
| ⊕ PERC TEST | ⊕ ACCESS CONTROL |
| ⊕ MONITORING WELL | ⊕ GAS VALVE |
| ⊕ FIRE HOSE CONNECTION | ⊕ CONCRETE SURFACE |
| ⊕ CULVERT | ⊕ BITUMINOUS SURFACE |
| ⊕ FLOOD LIGHT | ⊕ GRAVEL SURFACE |
| ⊕ SOIL BORING | |

Vicinity Map

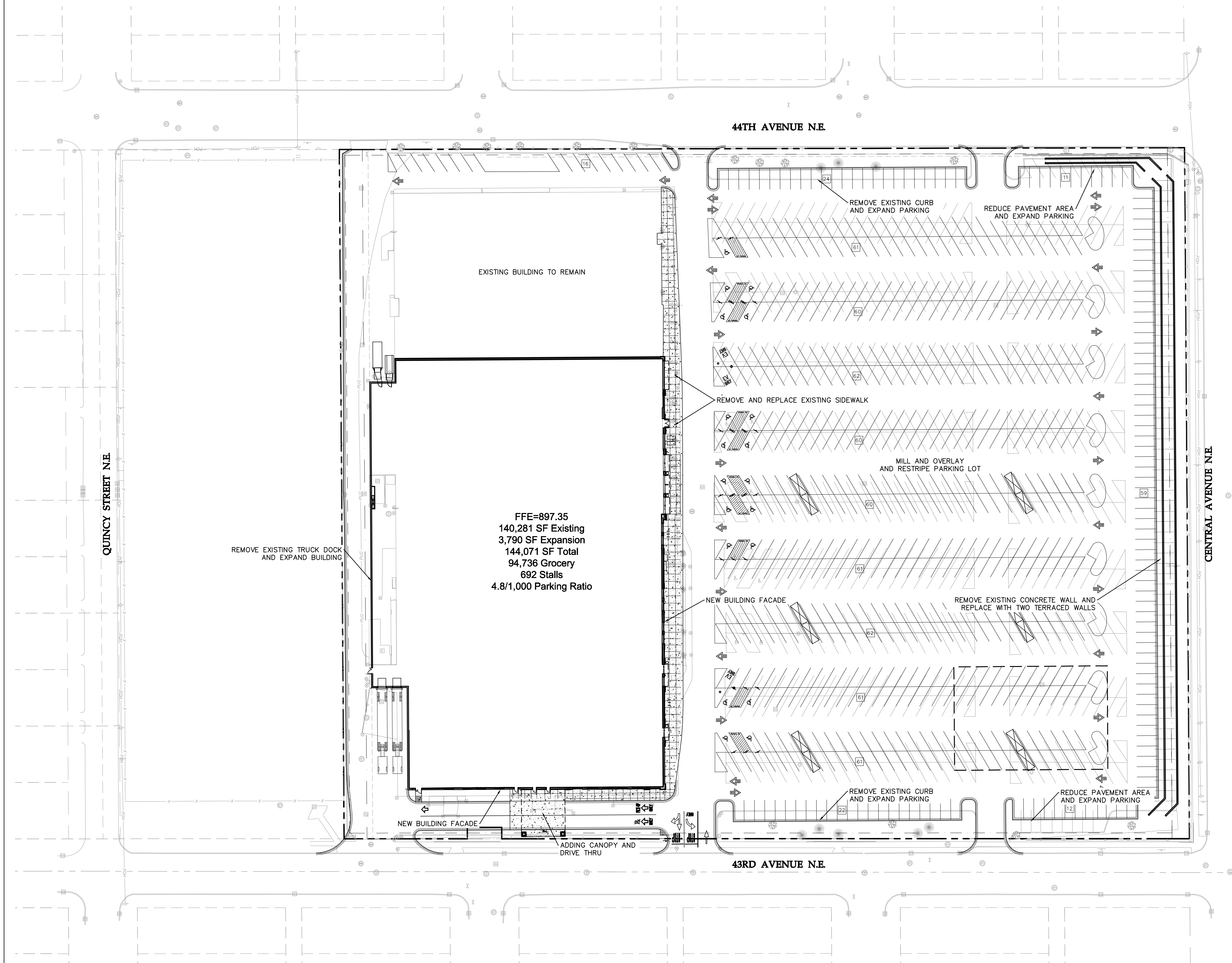


Sec. 35, Twp. 30, Rge. 24

- Denotes Iron Monument Set
- Denotes Iron Monument Found
- ⊙ Denotes Cast Iron Monument Found



Date: 5/26/2016 Sheet: 1 of 1
000868AT02.dwg



FFE=897.35
 140,281 SF Existing
 3,790 SF Expansion
 144,071 SF Total
 94,736 Grocery
 692 Stalls
 4.8/1,000 Parking Ratio

Site Legend

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP OUT CURB AND GUTTER
		RETAINING WALL
		FENCE
		CONCRETE HEAVY DUTY PAVEMENT
		CONCRETE SIDEWALK
		HEAVY DUTY BITUMINOUS PAVEMENT
		NORMAL DUTY BITUMINOUS PAVEMENT
		NUMBER OF PARKING STALLS
		TRANSFORMER
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST

Westwood
 Phone (852) 937-5150 7809 Anagram Drive
 Fax (852) 937-5822 Eden Prairie, MN 55344
 Email info@westwood.com
 Westwood Professional Services, Inc.

LOCATION:
COLUMBIA HEIGHTS HY-VEE
COLUMBIA HEIGHTS, MINNESOTA
 HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50266
 TELEPHONE: (515) 267-2800
 FAX: (515) 267-2335
HyVee
 EMPLOYEE OWNED

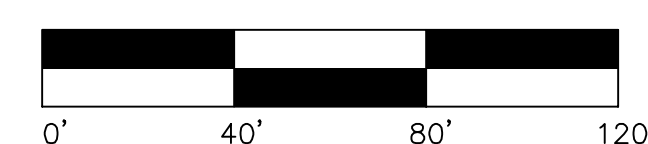
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

 Daniel Parks, PE
 Date: 08/01/16 License No. 18919

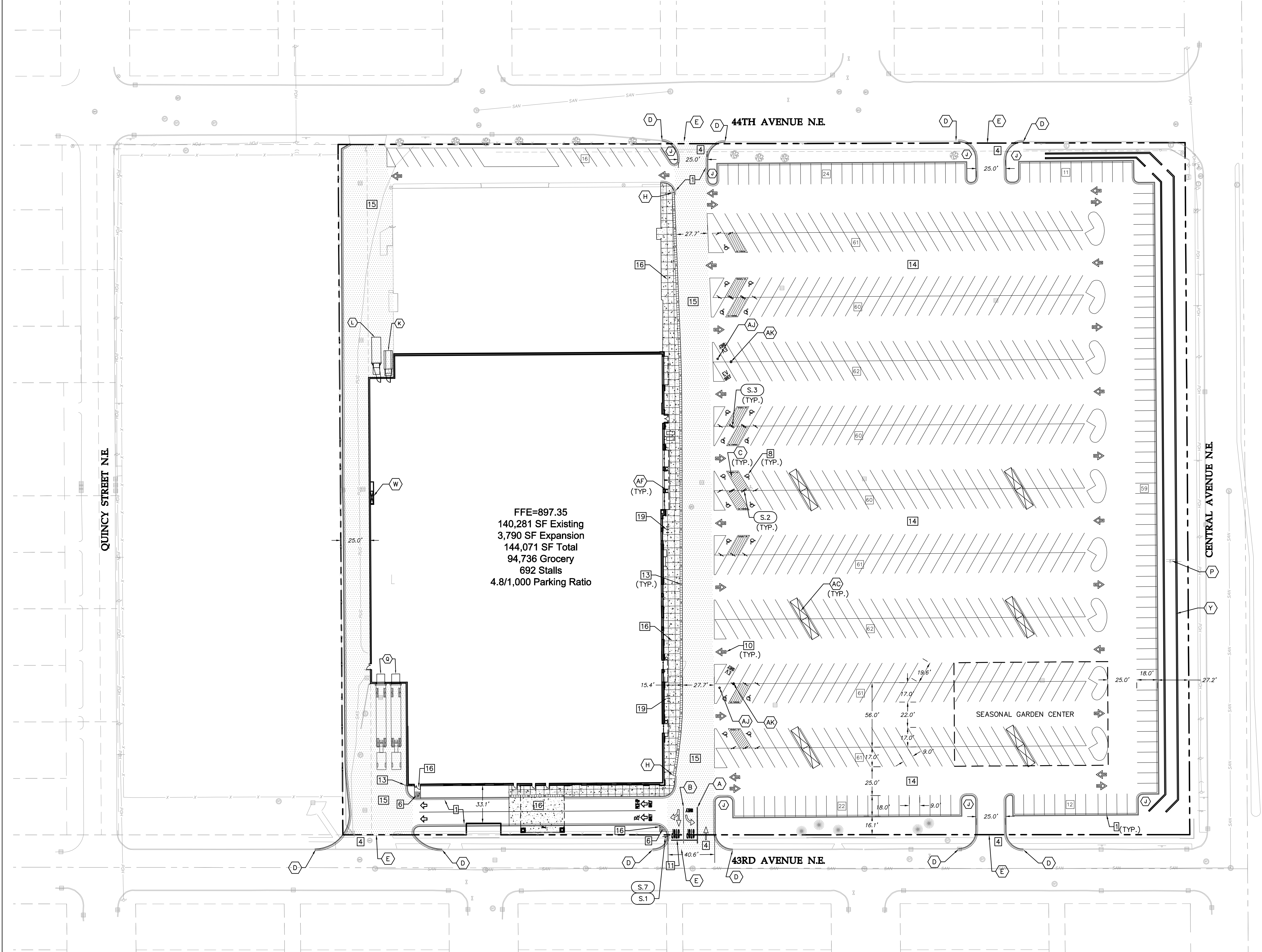
PROJECT IMPROVEMENT PLAN

DRAWN: CEF/IAS DATE: 08/01/16
 SCALE: 1" = 40' REVISION DATE:

SHEET: **C2.0**



NOT FOR CONSTRUCTION



FFE=897.35
 140,281 SF Existing
 3,790 SF Expansion
 144,071 SF Total
 94,736 Grocery
 692 Stalls
 4.8/1,000 Parking Ratio

Site Development Summary

- EXISTING ZONING: GB (GENERAL BUSINESS DISTRICT)
- PROPOSED ZONING: GB (GENERAL BUSINESS DISTRICT)
- PARKING SPACES/DRIVE AISLES:
 - TWO WAY AISLE: 25' (MIN.)
 - ONE WAY AISLE: 22' (MIN.)
 - 90° PARKING STALLS: 9' WIDTH (TYP.); 18' LENGTH (MIN.)
 - 60° PARKING STALLS: 9' WIDTH (TYP.); 17' LENGTH (MIN.)
- CITY PARKING RATIO REQUIREMENT:
 - GROCERY: 1 SPACE/300 SF. (3.3/1,000) (94,736 SF/300 = 316 SPACES)
 - RETAIL: 1 SPACE/300 SF. (3.3/1,000) (49,335 SF/300 = 165 SPACES)
- HY-VEE GROCERY: 316 SPACES (3.3/1,000)
- MEIKEE/A&C HARDWARE/DOLLAR TREE: 165 SPACES (3.3/1,000)
- TOTAL SPACES REQUIRED: 606 SPACES (5.5/1,000)
- PARKING PROVIDED:
 - HY-VEE GROCERY: 527 SPACES (5.5/1,000)
 - MEIKEE/A&C HARDWARE/DOLLAR TREE: 165 SPACES (3.3/1,000)
 - TOTAL SPACES PROVIDED: 692 SPACES (4.8/1,000)

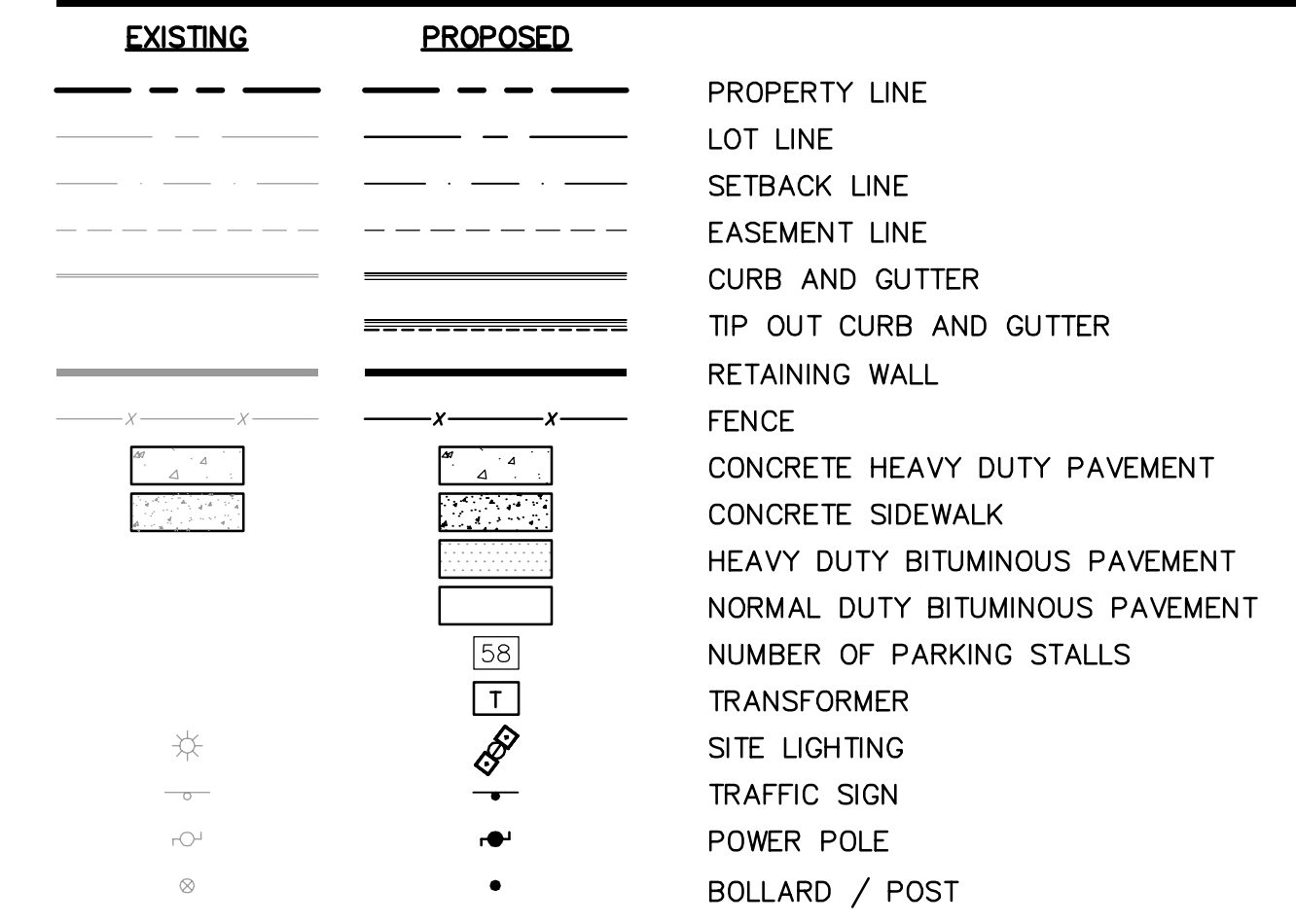
Site Notes

- A 4" DOUBLE YELLOW LANE STRIPE (TYP.)
- B 4" SINGLE WHITE LANE STRIPE
- C 4" YELLOW DIAGONAL STRIPE
- D MATCH EXISTING CURB & GUTTER
- E MATCH EXISTING PAVEMENT
- F MATCH EXISTING CONCRETE (WALK OR DRIVE)
- H CURB TRANSITION TO FLUSH
- J PLANTED AREA
- K WET TRASH COMPACTOR
- L DRY TRASH COMPACTOR
- N TRANSFORMER PAD
- P EXISTING PYLON SIGN
- Q LOADING DOCKS
- R EXISTING CONCRETE CURB
- S EXISTING CONCRETE PAVEMENT
- T EXISTING LIGHT
- U EXISTING SIDEWALK
- V LIGHT LOCATION
- W FDC LOCATION
- Y RETAINING WALL
- AA FIRE LANE AREA
- AC CART CORRALS (BY OWNER)
- AD BOLLARD LIGHTS
- AE TRASH ENCLOSURE (BY OWNER)
- AF TRASH/ASH RECEPTACLE (BY OWNER)
- AG QUICK COUPLER FOR GARDEN CENTER WATER SERVICE FROM IRRIGATION
- AJ ELECTRIC CAR CHARGER
- AK LIGHT/WIND TURBINE

Site Details

- 1 B612 CURB & GUTTER
- 2 INTEGRAL CURB & WALK
- 3 FLUSH CONCRETE SIDEWALK & PAVEMENT
- 4 CONCRETE DRIVEWAY APRON
- 5 CONCRETE CROSS GUTTER
- 6 PEDESTRIAN CURB RAMP
- 7 ACCESSIBLE PEDESTRIAN RAMP (WITH TRUNCATED DOMES)
- 8 ACCESSIBLE PARKING LOGO, STRIPING, & SIGNAGE
- 9 CROSS WALK STRIPING (PAINTED WHITE WITH SILICA)
- 10 TRAFFIC ARROW
- 11 PAINTED STOP BAR
- 12 PAVEMENT MARKINGS
- 13 PROTECTIVE BOLLARD
- 14 STANDARD DUTY BITUMINOUS PAVEMENT
- 15 HEAVY DUTY BITUMINOUS PAVEMENT
- 16 CONCRETE SIDEWALK
- 17 CONCRETE HEAVY DUTY PAVEMENT
- 18 B624 CURB & GUTTER
- 19 SWERVE BIKE RACKS (6 TOTAL)

Site Legend



Sign Legend

REFERENCE	SIZE	MNDOT DESIGNATION
S.1 STOP SIGN	30" X 30"	R1-1
S.2 HANDICAP ACCESSIBLE (MOUNTED ON PROTECTIVE BOLLARDS)	12" X 18"	R7-8M
S.3 NO PARKING	12" X 12"	R8-38
S.4 FIRE LANE	12" X 18"	R7-6-9
S.5 "NEW & EXPECTING MOTHERS PARKING (AVAILABLE FROM HY-VEE SIGN SHOP)	12" X 18"	
S.6 "WELCOME TO HY-VEE" (AVAILABLE FROM HY-VEE SIGN SHOP)	6" X 10"	
S.7 "THANK YOU FOR SHOPPING AT HY-VEE" UNDER STOP SIGN (AVAILABLE FROM HY-VEE SIGN SHOP)	6" X 10"	
S.8 "CAR-SIDE PICK-UP PARKING ONLY" (AVAILABLE FROM HY-VEE SIGN SHOP)	6" X 10"	

Hy-Vee Parking Lot Painting Specifications

- PAINT TRAFFIC DIRECTION ARROWS, PARKING STRIPES, AND HANDICAP SYMBOLS "TRAFFIC YELLOW".
- PAINT SHALL BE LEAD FREE WATERBORNE TRAFFIC AND HIGHWAY MARKING PAINT UC-3584 YELLOW AS MANUFACTURED BY DIAMOND VOGEL PAINTS OR EQUIVALENT.
- PROVIDE FOUNDRY GRADE SILICA SAND THAT MEETS A 50/60 GRADED SAND WHEN TESTED ACCORDING TO ASTM C-136.
- BEFORE APPLICATION OF PAINT, PAINTING SURFACE MUST BE DRY AND FREE FROM DIRT, GREASE, OIL, OR OTHER MATERIAL THAT WOULD REDUCE THE BOND BETWEEN THE PAVEMENT AND PAINT. CLEAN THE AREA TO BE PAINTED BY SWEEPING OR COMPRESSED AIR.
- APPLY PAINT AT LOCATIONS, DIMENSIONS, AND SPACING SHOWN ON THE PLANS.
- MIX PAINT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPLY AT THE RATE OF 115 SF/GALLON. THE ADDITION OF THINNER WILL NOT BE PERMITTED.
- APPLY SILICA SAND AT 4LBS/GALLON OF PAINT IMMEDIATELY AFTER THE APPLICATION OF PAINT. SILICA SAND SHALL ADHERE TO THE CURED PAINT PRIOR TO FINAL ACCEPTANCE AND PAYMENT.
- PROTECT ALL MARKINGS FROM DAMAGE UNTIL PAINT IS DRY.

General Site Notes

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, INC., ST. CLOUD, MINNESOTA.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII SHALL BE 4.0 FEET (TO BACK OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS. CONTRACTOR TO SUBMIT TRAFFIC CONTROL PLAN TO HENNEPIN COUNTY.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

Westwood
 (855) 937-5150 7000 Anagram Drive
 (855) 937-5822 Eden Prairie, MN 55344
 Phone Fax
 Email: info@westwood.com
 Westwood Professional Services, Inc.

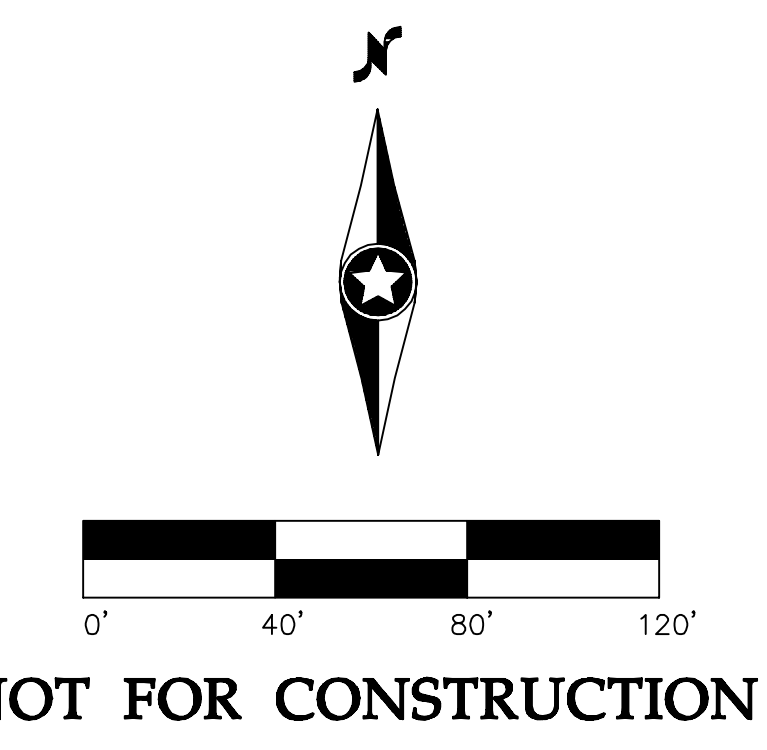
LOCATION:
COLUMBIA HEIGHTS HY-VEE
COLUMBIA HEIGHTS, MINNESOTA
 HY-VEE, INC.
 6820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50266
 TELEPHONE: (515) 267-2800
 FAX: (515) 267-2335
Hy-Vee
 EMPLOYEE OWNED

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.
Daniel Parks, PE
 Daniel Parks, PE
 Date: 08/01/16 License No. 18919

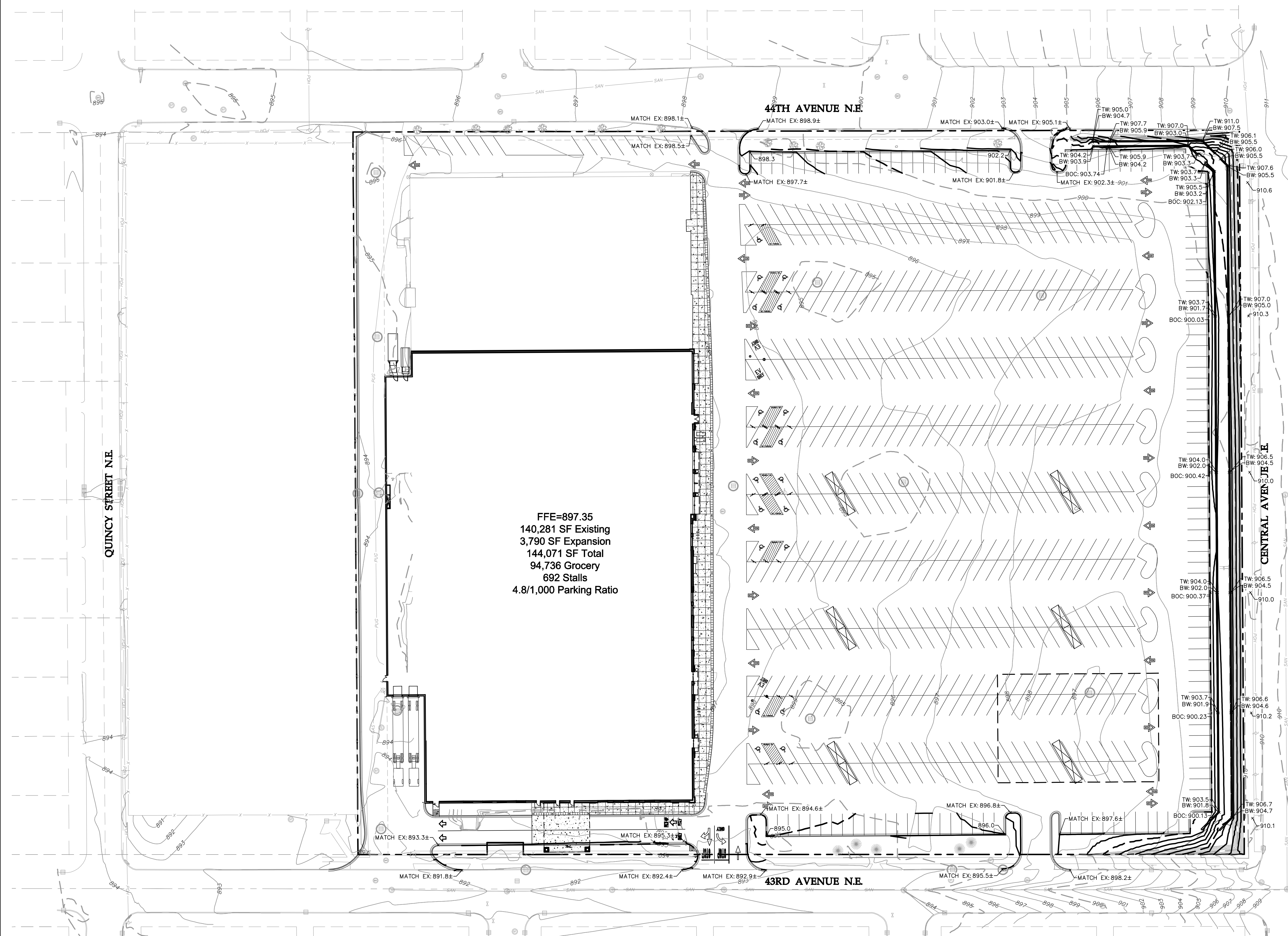
CIVIL SITE PLAN

DRAWN: CEF/IAS DATE: 08/01/16
 SCALE: 1" = 40' REVISION DATE:
 SHEET:

C3.0



NOT FOR CONSTRUCTION

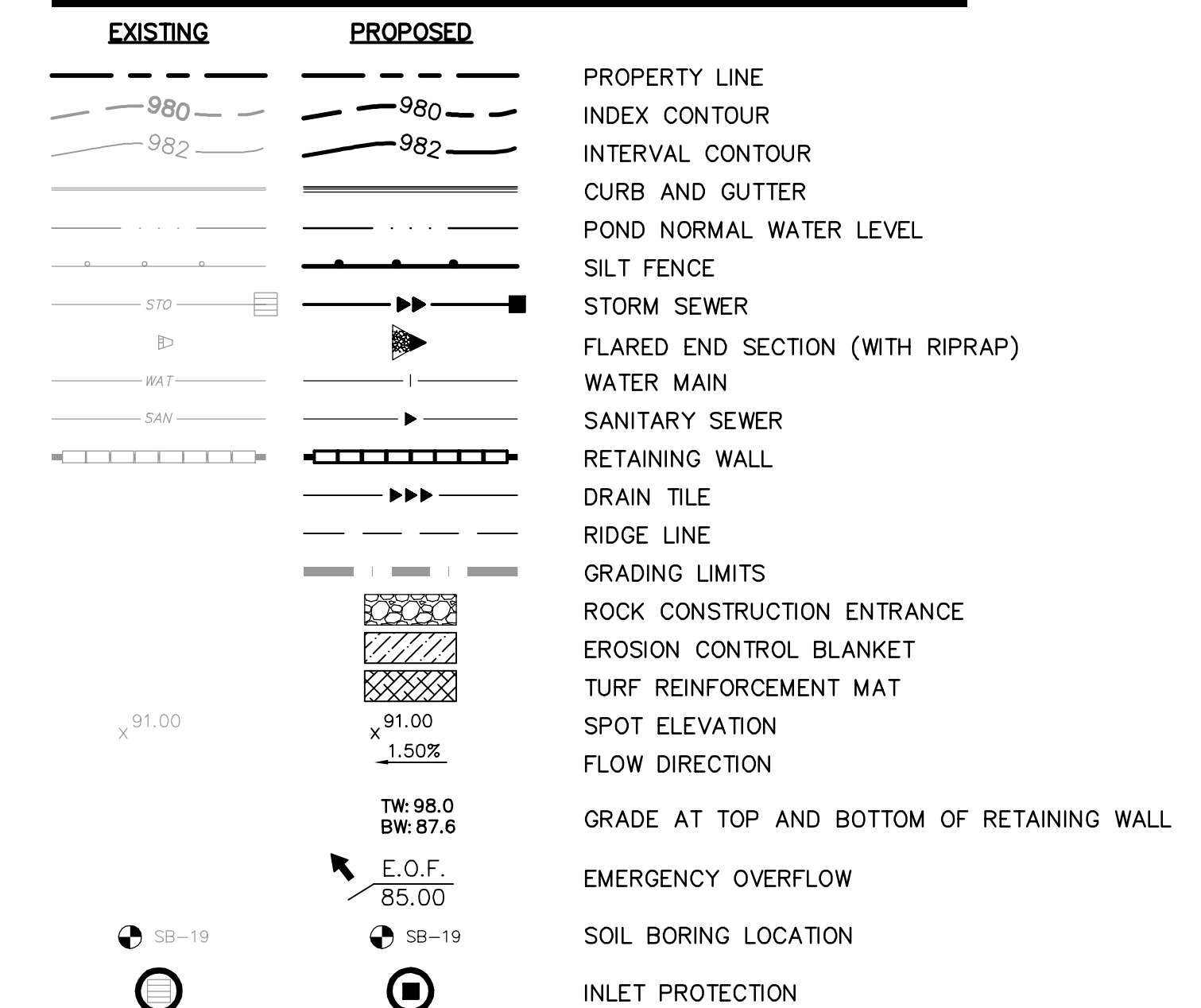


FFE=897.35
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 692 Stalls
 4.8/1,000 Parking Ratio

Grading Notes

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS, WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RECOMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

Grading Legend



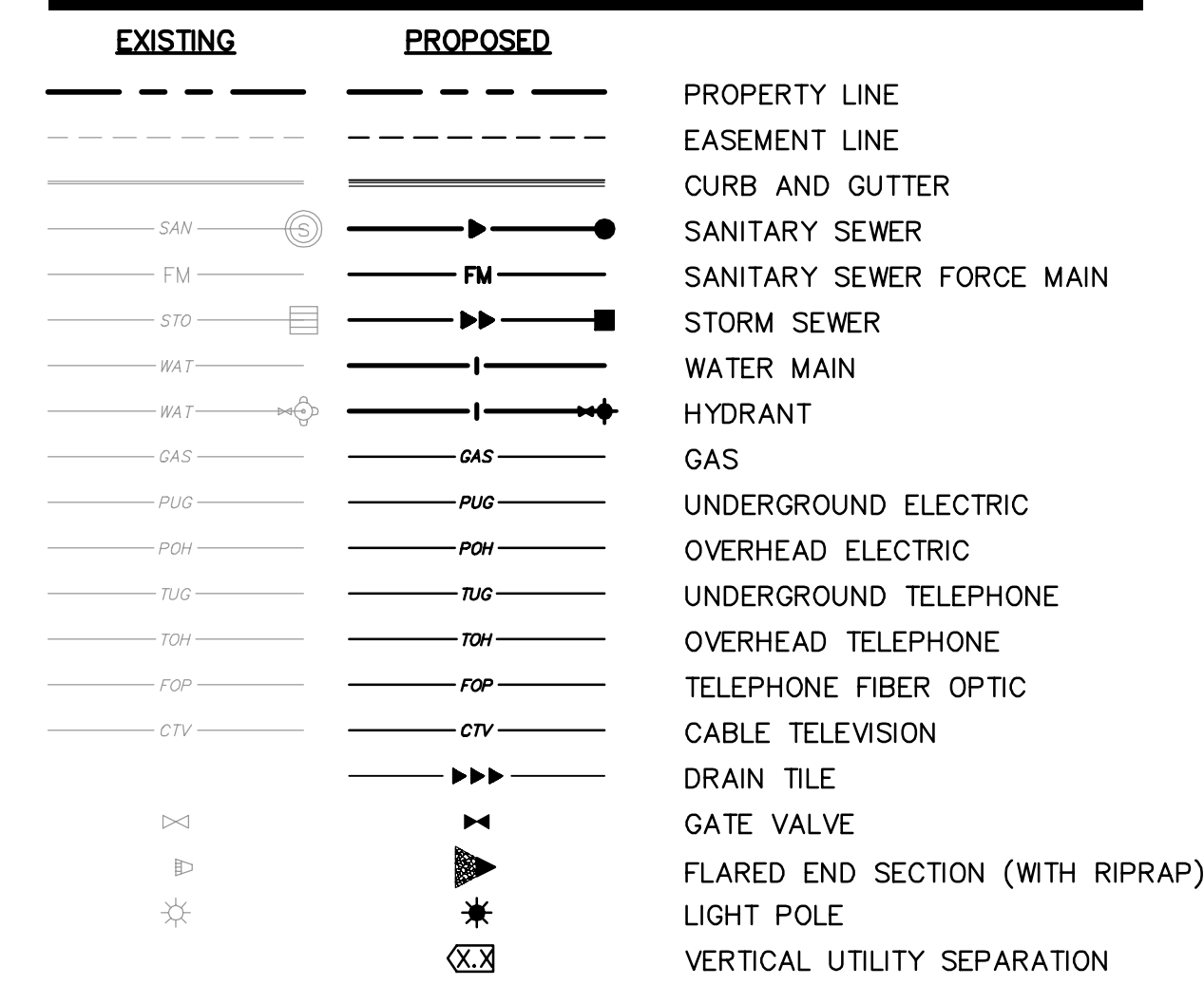
General Utility Notes

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN INSTALLATIONS SHALL BE PER MINNESOTA PLUMBING CODE AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER MAIN CROSSINGS WITH SANITARY SEWER OR STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- ALL MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY.
- ALL WATER LINES SHALL BE DUCTILE IRON WRAPPED IN POLYETHYLENE, CLASS 52 WITH 7.5" MINIMUM COVER. PROVIDE MINIMUM SEPARATION OF 18" FROM SANITARY SEWER & STORM SEWER. INSULATE WATER MAIN IF LESS THAN 7.5' OF COVER.
- INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY SEWER PIPE WITHIN 5 FEET OF BUILDING AND UNDER FOOTINGS, PIPE SHALL BE PVC SCHEDULE 40.
- STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE (CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED) WITH R-4 GASKETS, OR HDPE STORM SEWER PIPE IF ALLOWED BY THE CITY. HDPE STORM PIPE SHALL MEET REQUIREMENTS OF ASTM F2648. PIPE SHALL BE WATER TIGHT ACCORDING TO ASTM D3212 REQUIREMENTS. SEE PLAN FOR LOCATIONS WHERE RCP IS REQUIRED. PVC STORM SEWER PIPE SHALL BE SCHEDULE 40 PIPE. FLARED END SECTIONS SHALL BE RCP WITH TRASH GUARDS & RIP-RAP.
- POST INDICATOR VALVES SHALL BE CLOW F-5750 (OR EQUIVALENT) MEETING AWWA STANDARD C509 AND CITY STANDARDS. VALVE TO BE MECHANICAL JOINT RESILIENT WEDGE GATE VALVE. POST TO BE ADJUSTABLE FOR 8 FEET WATER MAIN DEPTH. THE ELECTRICAL ALARM SWITCH SHALL BE PART NO. PCV52 (OR EQUIVALENT).
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.

Erosion Control Notes

- SILT FENCE WILL BE INSTALLED AROUND SITE IN ALL FILL AREAS AND LOCATIONS WHERE STORM WATER RUNOFF MAY LEAVE THE SITE, PRIOR TO ANY EXCAVATION/CONSTRUCTION ACTIVITIES.
- ROCK CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ENTRANCES.
- SILTATION AND EROSION CONTROL: THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO CATCH BASIN INSERTS, ROCK CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. CONTROL SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER, ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
- CONTRACTOR SHALL INSTALL TEMPORARY INLET PROTECTION (WIMCO OR EQUIVALENT) AROUND ALL CATCH BASIN GRATE INLETS, AFFECTED BY THIS CONSTRUCTION.
- ALL DISTURBED AREAS SHALL HAVE TEMPORARY PROTECTION OR PERMANENT COVER OVER EXPOSED SOIL AREAS IF NOT BEING ACTIVELY GRADED WITHIN SEVEN (7) DAYS.
- FOR AREAS WITH SLOPE OF 3:1 OR GREATER, RESTORATION WITH SOD OR WOOD FIBER BLANKET IS REQUIRED.
- PUBLIC STREETS USED FOR HAULING SHALL BE KEPT FREE OF SOIL AND DEBRIS. STREET SWEEPING SHALL BE COMPLETED DAILY.

Utility Legend



Westwood
 (850) 937-5150 7509 Anagram Drive
 (850) 937-5822 Eden Prairie, MN 55344
 Phone Fax
 Email: info@westwoodpro.com
 Westwood Professional Services, Inc.

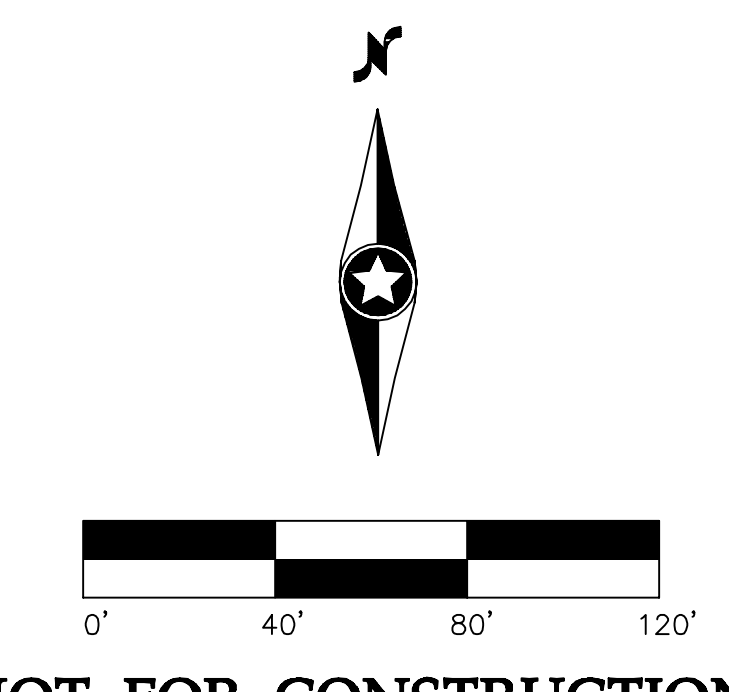
LOCATION:
COLUMBIA HEIGHTS HY-VEE
COLUMBIA HEIGHTS, MINNESOTA
 HY-VEE, INC.
 6820 WESTTOWN PARKWAY
 WEST DES MOINES, IOWA 50266
 TELEPHONE: (515) 267-2800
 FAX: (515) 267-2335
Hy-vee
 EMPLOYEE OWNED

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.
Daniel Parks, PE
 Daniel Parks, PE
 Date: 08/01/16 License No. 18919

GRADING, DRAINAGE, EROSION CONTROL, & UTILITY PLAN

DRAWN: CEF/IAS DATE: 08/01/16
 SCALE: REVISION DATE:
 1" = 40'
 SHEET:

C4.0



NOT FOR CONSTRUCTION

Plant Schedule

CANOPY TREE - 26								
CITY	ID	COMMON NAME	BOTANICAL NAME	SIZE	METHOD	HEIGHT	WIDTH	SPACING
--	SM	Sugar Maple	Acer saccharum	3.5" CAL	B&B	50'-75'	40'-50'	AS SHOWN
--	HA	Hackberry	Celtis occidentalis	2.5" CAL		50'-75'	40'-50'	AS SHOWN
--	GI	Autumn Gold Ginko	Ginko biloba 'Autumn Gold'	2.5" CAL		45'-50'	25'-30'	AS SHOWN
--	HL	Skyline Honeylocust	Gleditsia triacanthos var. inermis 'Skyline'	3.5" CAL		45'-50'	30'-35'	AS SHOWN
--	RO	Red Oak	Quercus rubra	2.5" CAL		60'-80'	45'-50'	AS SHOWN
--	WO	Swamp White Oak	Quercus bicolor	3.5" CAL		50'-60'	40'-50'	AS SHOWN
UNDERSTORY TREE - 11								
--	AS	Allegheny Serviceberry	Amelanchier laevis	7" Tall 5 Trunk Multi-stem	B&B	20'-25'	15'-18'	AS SHOWN
--	WB	Whitespire Birch	Betula populifolia 'Whitespire'			30'-40'	20'-25'	AS SHOWN
--	TH	Thornless Cockspur Hawthorn	Crataegus crusgalli 'Inermis'			15'-20'	15'-20'	AS SHOWN
--	SS	Spring Snow Crab	Malus 'Spring Snow'	2.0" CAL		20'-30'	15'-18'	AS SHOWN
EVERGREEN TREE - 0								
--	NS	Norway Spruce	Picea alba	6' TALL	B&B	40'-80'	25'-30'	AS SHOWN
--	BS	Black Hills Spruce	Picea glauca densata	8' TALL		35'-45'	25'-30'	AS SHOWN
--	CS	Colorado Green Spruce	Picea pungens	8' TALL		55'-60'	10'-20'	AS SHOWN
--	NP	Norway Pine	Pinus resinosa	6' TALL		60'-80'	25'-30'	AS SHOWN

Groundcover Schedule

Sod	Hyland Salt Tolerant Sod
Turf Seed Mix	MnDOT Mix 25-131, Commercial Turf
Mulch	Dark Brown Wood Mulch Pine Mulch under Evergreens

Tree Legend



Landscape Data

CITY LANDSCAPE REQUIREMENTS:

- STREET FRONTAGE
 A MINIMUM OF (1) TREE SHALL BE PLANTED FOR EVERY 50 FT OF STREET FRONTAGE
 REQUIRED PLANTINGS: 2074 L.F.
 TOTAL TREES REQUIRED: 42 TREES

- IMPERVIOUS SURFACES
 A MINIMUM OF (4) TREES SHALL BE PLANTED FOR EVERY ONE ACRE OF IMPERVIOUS SURFACE COVER (BUILDINGS, PARKING AREAS, LOADING AND STORAGE AREAS)
 REQUIRED PLANTINGS: 442,587 SF (10.16 AC)
 TOTAL IMPERVIOUS AREA: 412,600 SF (9.47 AC)
 TOTAL TREES REQUIRED: 38 TREES

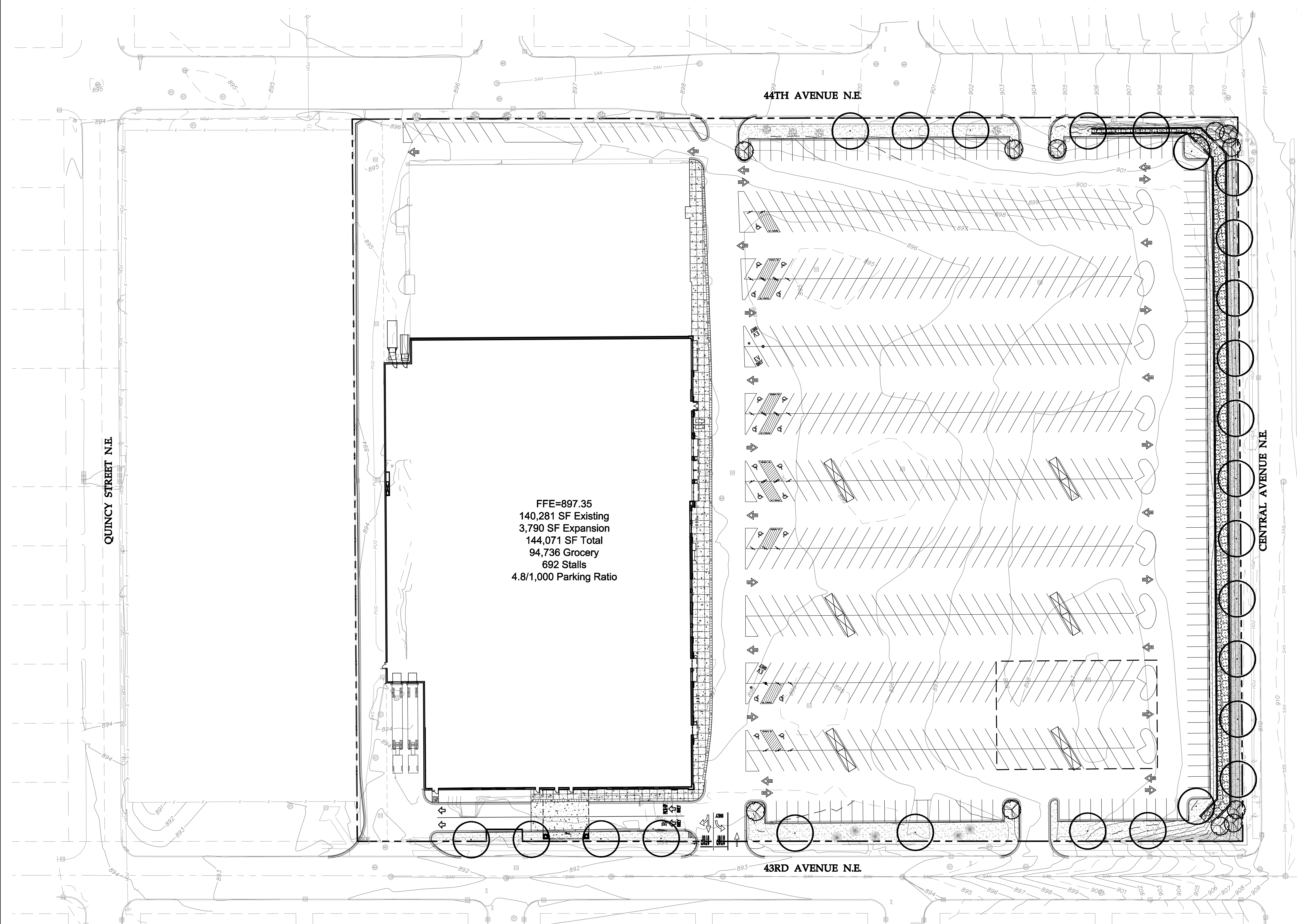
- PARKING LOTS
 PARKING AREAS SHALL HAVE A MINIMUM OF 100 SF OF LANDSCAPE AREA AND (1) OVERSTORY TREE FOR EACH 20 PARKING SPACES.
 REQUIRED PLANTINGS: 692 SPACES
 TOTAL TREES REQUIRED: 35 TREES
 TOTAL LANDSCAPED AREA: 3,460 SF

- TOTAL REQUIRED LANDSCAPING
 TOTAL TREES: 115 TREES

- TOTAL PROVIDED LANDSCAPING
 TOTAL TREES: 52 TREES
 PROPOSED TREES: 37 TREES
 EXISTING TREES TO REMAIN: 15 TREES
 TOTAL LANDSCAPED AREA: 5,810 SF

Planting Notes

- GENERAL:**
- ALL PLANT MATERIAL INSTALLATION, INCLUDING SEED AND SOD, SHALL BE COMPLETED PRIOR TO GRAND OPENING.
 - CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL CONTACT EITHER COMMON GROUND ALLIANCE AT 811 OR CALL811.COM OR Gopher State One Call at 651-681-7326 (TWIN CITIES METRO AREA) OR 800-252-1166 (GREATER MINNESOTA) OR WEB AT www.gopherstateonecall.com. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
 - ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
 - NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
 - NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER, INC. ALL SUBSTITUTIONS MUST BE APPROVED PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
 - THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
 - CONTRACTOR SHALL PROVIDE GUARANTEE OF ALL PLANT MATERIALS FOR TWO COMPLETE GROWING SEASONS (APRIL 1-NOVEMBER 1) YEAR. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFLORIATES PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
 - CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
 - PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
 - REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- SOIL PREPARATION:**
- TOPSOIL SHALL BE LOCAL FERTILE AGRICULTURAL SOIL FREE OF SUBSOILS, ROCKS, CLAYS, PLANTS, WEEDS, ROOTS AND OTHER IMPURITIES. PH VALUE SHALL BE BETWEEN 5.4 AND 7.0.
 - REMOVE DEBRIS AND WEEDS FROM SUBSOIL.
 - THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL PERFORM A SOIL TEST PRIOR TO INSTALLATION AND NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
 - SPREAD TOPSOIL TO A MINIMUM DEPTH OF 6". TOPSOIL PLACEMENT SHALL TAKE PLACE DURING DRY WEATHER. PREPARE TOPSOIL SO THAT IT IS FREE OF DEBRIS AND GRADED TO DRAIN AS INDICATED ON GRADING PLANS.
 - LIGHTLY COMPACT TOPSOIL AFTER PLACEMENT AND PROHIBIT CONSTRUCTION TRAFFIC FROM AREAS WITH TOPSOIL.
- PLANTING:**
- ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
 ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
 ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
 ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
 ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAVING.
 CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
 - PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
 - PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY. TEMPORARY ONLY.
 - PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
 - OPEN TOP OF BURLAP ON BB MATERIALS. REMOVE POT ON POTTED PLANTS. SPLIT AND BREAK APART PEAT POTS. VERTICALLY SCORE ROOT BALLS PRIOR TO INSTALLATION.
 - PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
 - WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
 - STAKING OF TREES AS REQUIRED: REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
 - BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
 - WOOD MULCH SHALL BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. COLOR SHALL BE DARK BROWN. TREE AND SHRUB PLANTING BEDS SHALL HAVE 3" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. EVERGREEN TREES TO HAVE PINE MULCH AT ALL LOCATIONS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 3" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL. DO NOT USE FABRIC UNDER WOOD MULCH.
 - ROCK MULCH TO BE BUFF LIMESTONE, 1 1/2" TO 3" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION.
 - EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE. FOR MOVERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- SEEDING/ SODDING:**
- HIGHLAND SOD SHALL BE NURSERY GROWN GRADE, CULTIVATED GRASS SOD WITH STRONG FIBROUS ROOT SYSTEM FREE OF STONES, BURNED OR BARE SPOTS CONTAINING NO MORE THAN 5 WEEDS PER 1000 SF. SOD SHALL BE GROWN IN MINERAL SOILS. SOD GROWN IN PEAT SOILS WILL BE REJECTED.
 - SOD MIXTURE SHALL BE 40% KENTUCKY BLUEGRASS, 30% PERENNIAL RYEGRASS, 30% FINE FESCUES
 - FERTILIZER FOR SODDED AREAS SHALL BE NITROGEN 10%, PHOSPHORIC ACID 10%, SOLUBLE POTASH 10%.
 - APPLY FERTILIZER AT APPLICATION RATE OF 1LB/1000 SF TO TOPSOIL PRIOR TO PLACING SOD.
 - ALL TOPSOIL AREAS TO BE RAKE TO REMOVE DEBRIS AND ENSURE PROPER SOIL CONTACT. MOISTEN PREPARED SOIL IMMEDIATELY PRIOR TO LAYING SOD. LAY SOD IMMEDIATELY UPON DELIVERY TO THE SITE, LEAVING NO OPEN JOINTS OR OVERLAPPING JOINTS. DO NOT STRETCH SOD. DO NOT LAY SOD IF TEMPERATURE IS BELOW FREEZING.
 - ROLL SOD WITH 1/3 FULL ROLLER AFTER SOD AND SOIL HAVE DRIED. ROLL BEFORE THE FIRST WATERING.
 - SEED AS SPECIFIED ON PLANS AND PER MN/DOT 2014 SEEDING MANUAL SPECIFICATIONS
 - REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- IRRIGATION:**
- SEE IRRIGATION PLAN.

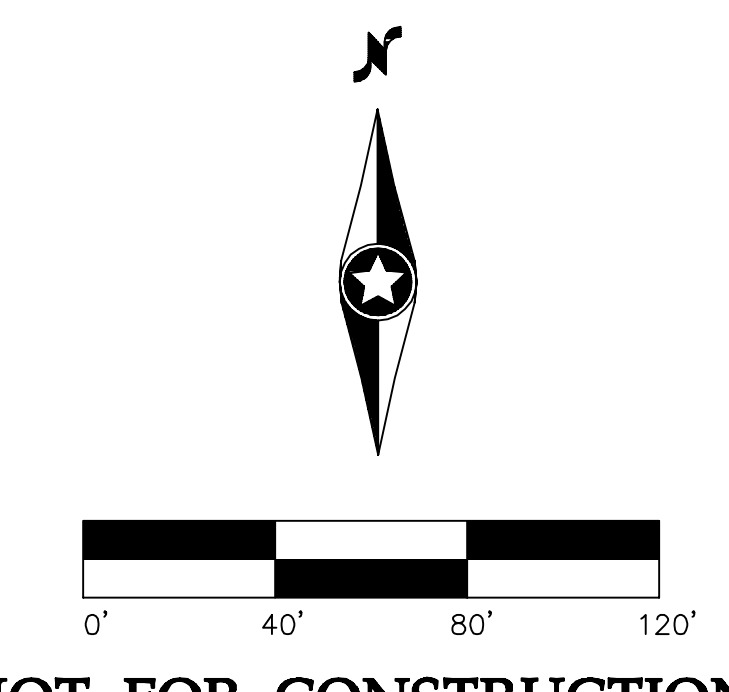


Westwood
 Phone: (651) 937-5150
 Fax: (651) 937-5822
 Email: info@westwoodps.com
 7009 Anagram Drive
 Eden Prairie, MN 55344
 Westwood Professional Services, Inc.

LOCATION:
COLUMBIA HEIGHTS HY-VEE
COLUMBIA HEIGHTS, MINNESOTA
 HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50266
 TELEPHONE: (515) 267-2800
 FAX: (515) 267-2835
HyVee
 EMPLOYEE OWNED

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL LANDSCAPE ARCHITECT under the laws of the State of Minnesota.
Chad E. Feigson
 Chad E. Feigson, PLA
 Date: 08/01/16 License No. 46008

LANDSCAPE PLAN



DRAWN: CEF/IAS DATE: 08/01/16
 SCALE: 1" = 40' REVISION DATE:
 SHEET: C5.0

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